



Weld County Sign Code Update

DEPARTMENT OF PLANNING SERVICES | 1555 N. 17TH AVENUE, GREELEY, CO 80631
www.weldgov.com | 970-400-6100 | FAX 970-304-6498

This handout summarizes some of the regulations in the update to the regulations on signs in unincorporated Weld County adopted at the end of 2021. Please refer to the Weld County Code for actual regulations. (Available online at: https://library.municode.com/co/weld_county. Chapter 23, Article IV, Division 2. Definitions are in Article I, Section 23-1-90.)

What are the limits on signage for my property?

Every lot may have up to 5 signs of up to 6 square feet each, plus the following:

Lots without a principal building (any zone district):

One sign of up to 64 square feet and up to 8 feet in height per road that the lot has frontage on. No additional signs are allowed except the 5 signs of up to 6 square feet each mentioned above.

Lots zoned Commercial or Industrial and lots owned and operated by public agencies (fire stations, etc.):

One freestanding sign. Lots of at least 5 acres that have at least 500 feet of road frontage may have a second freestanding sign.

Freestanding signs over 10 feet in height may be up to 75 square feet in area on lots under 2 acres or 150 square feet on lots of at least 2 acres. Freestanding signs may be up to 25 feet in height. (See Setbacks on the next page.)

Freestanding signs that are no taller than 10 feet may be up to 90 square feet on lots under 2 acres or 180 square feet on lots of at least 2 acres.

One banner sign, whether attached to a building, fence, fenceposts, etc. Lots of at least 5 acres that have at least 500 feet of road frontage may have a second banner.

Banners may be up to 40 square feet in area and up to 6 feet in height.

Signs on buildings may cover up to 10% of each wall of the building. There is no limit on the number of wall signs, but no individual sign may be larger than 150 square feet. Banners on buildings do not count toward the maximum signage on walls.

Ag-zoned lots not in a subdivision or historic townsite:

One freestanding sign. Lots of at least 5 acres that have at least 500 feet of road frontage may have a second freestanding sign.

Freestanding signs may be up to 75 square feet in area and up to 15 feet in height. (See Setbacks below.)

Freestanding signs that are no taller than 10 feet may be up to 90 square feet in area.

One banner sign, whether attached to a building, fence, fenceposts, etc. Lots of at least 5 acres that have at least 500 feet of road frontage may have a second banner.

Banners may be up to 40 square feet in area and up to 6 feet in height.

There is no limit on the number of wall signs, but signage cannot cover more than the lesser of 5% or 75 square feet of each elevation. Banners on buildings do not count toward the maximum signage on walls.

Ag-zoned lots in subdivisions or historic townsites and lots zoned Estate or Residential:

One freestanding sign or banner of up to 32 square feet up to 5 feet in height.

Do I need a permit to put up a sign?

Weld County does not issue sign permits, but many signs require building permits. Building permits for signs will be reviewed for compliance with the sign code. Contact the [Building Division](#) at (970) 400-6100.

<https://www.weldgov.com/files/sharedassets/public/departments/building/documents/building-permits/commercial-building-permit-application.pdf>

Signs within 660 feet of CDOT right-of-way (highways and frontage roads) are subject to state and federal regulations in addition to county regulations and require a permit from CDOT. (See <https://www.codot.gov/programs/signs/outdoor-advertising>.)

Other provisions:

Prohibited signs in all zoning districts:

- ✓ Derelict signs. (Any sign that is partially or totally damaged or is in a state of general dilapidation, deterioration, or decay.)
- ✓ Exposed light bulbs visible from any property line. (LEDs are not considered “light bulbs.” See below regarding lighted signs.)
- ✓ Searchlights, flashing lights, mirrors, flames, smoke, or beacons used to attract attention to a business.
- ✓ Any sign that may be confused with a traffic control device and/or may present a danger due to its potential to interfere with, mislead, or confuse the steady and safe flow of traffic.
- ✓ Signs may not be attached to trees, rocks, or anything not located on the same lot as the sign.
- ✓ Banners may not be affixed to semi-trailers, vehicles, or other movable objects. Cargo containers may not have signs.
- ✓ Signs on buildings may not extend above the highest portion of the roof or parapet.
- ✓ Signs must be stationary. They cannot wave in the wind, etc. (This does not apply to flags.)

Setbacks and offsets:

Signs are not allowed in sight distance triangles or within 5 feet of a fire hydrant. Signs in County rights-of-way may be removed and disposed of without notice. Sight distance triangles usually apply to corner lots. Contact Planning staff for more information.

Signs that are no more than 10 feet tall may be placed at the right-of-way line with no setback as long as no part of the sign is within the right-of-way. Taller signs must be set back from the right-of-way a distance equal to the height of the sign. Any sign located within future right-of-way shall be required to be relocated outside of future right-of-way at the expense of the owner of the sign upon written notice from the county. Contact Planning staff with questions regarding future right-of-way. Staff cannot locate rights-of-way/property lines on your property, however.

Offsets for property lines not adjacent to rights-of-way: Signs over 6 square feet must be offset a distance equal to the height of the sign. An exception may be granted where the adjacent property owner is willing to sign a waiver form provided by the Planning Department.

Signs on lots without a principal building do not have to meet setbacks or offsets until a principal building is constructed.

Flagpoles shall be set back from all property lines a distance equal to the height of the pole.

Lighted signs:

Lighted signs and electronic message displays (reader boards) are generally only allowed in Commercial and Industrial zones. Refer to County Code Sections 23-4-70 and 23-4-80 or contact Planning staff regarding these signs. Such signs and their lighting shall not flash, blink, flicker, vary in intensity, or move.



Office Use Only
Building Permit # _____

Building-Mounted Sign Supplemental Information

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Applicant: Fill in the information below and submit this form with your building permit application for the sign(s) (Commercial Building Permit Application) along with the drawings. Attach a drawing(s) of the sign(s) showing all dimensions of the sign(s), including area. Include a drawing of the wall showing the location of the sign(s) and dimensions of the wall. A separate form is required for each elevation (wall) if signs are to be installed on more than one elevation (i.e., one for the north elevation, east elevation, etc.).

Refer to Division 2, Article IV, Chapter 23 of the Weld County Code for Weld County's Sign Code. In particular, see Section 23-4-90 for size limits.

- Lots zoned Commercial or Industrial and lots owned and operated by public agencies (fire stations, etc.): Signs on buildings may cover up to 10% of each wall of the building. There is no limit on the number of wall signs, but no individual sign may be larger than 150 square feet.
- Ag-zoned lots not in a subdivision or historic townsite: There is no limit on the number of building signs but signage cannot cover more than the lesser of 5% or 75 square feet of each elevation.
- Ag-zoned lots in subdivisions or historic townsites and lots zoned Estate or Residential: One freestanding sign or banner of up to 32 square feet up to 5 feet in height.

Subject property address or parcel number (where the sign is to be located): _____

Is the sign proposed to be lighted? Yes No If yes: internally or externally?
 (Externally means shining a light on an otherwise unlighted sign. Please note: Signs in Agricultural, Residential, and Estate zone districts are not permitted to be internally lighted.)

Total square footage of all sign(s) on wall (elevation): _____
 Include window signs and all proposed and existing signs on the elevation but exclude banners.
 (23-4-110.A.: The area of a sign face shall be computed by means of the smallest square, circle, rectangle, triangle or combination thereof, that will encompass the extreme limits of the writing, representation, emblem or other display, together with any material or color forming an integral part of the background of the display or used to differentiate the sign from the backdrop or structure against which it is placed, but not including any supporting framework, bracing or decorative fence or wall clearly incidental to the display itself.)

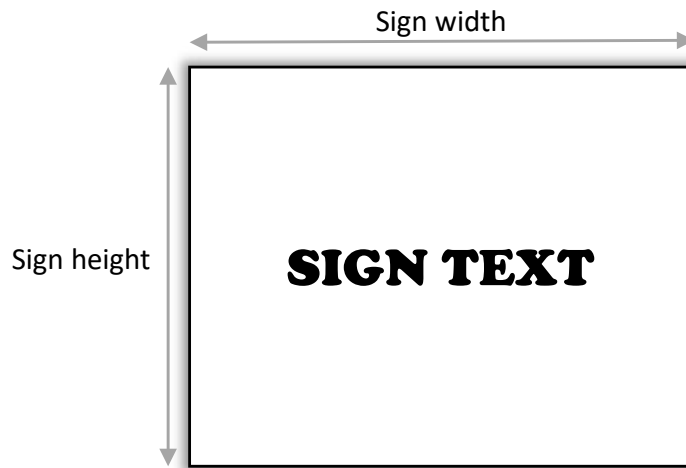
Height of wall to which sign(s) will be attached (feet): _____
 (If the height varies, enter "varies" and show all dimensions on attached drawing.)

Length of wall to which sign(s) will be attached (feet): _____
 (If the elevation has multiple projections (walls), enter "varies" and show all dimensions on attached drawing.)

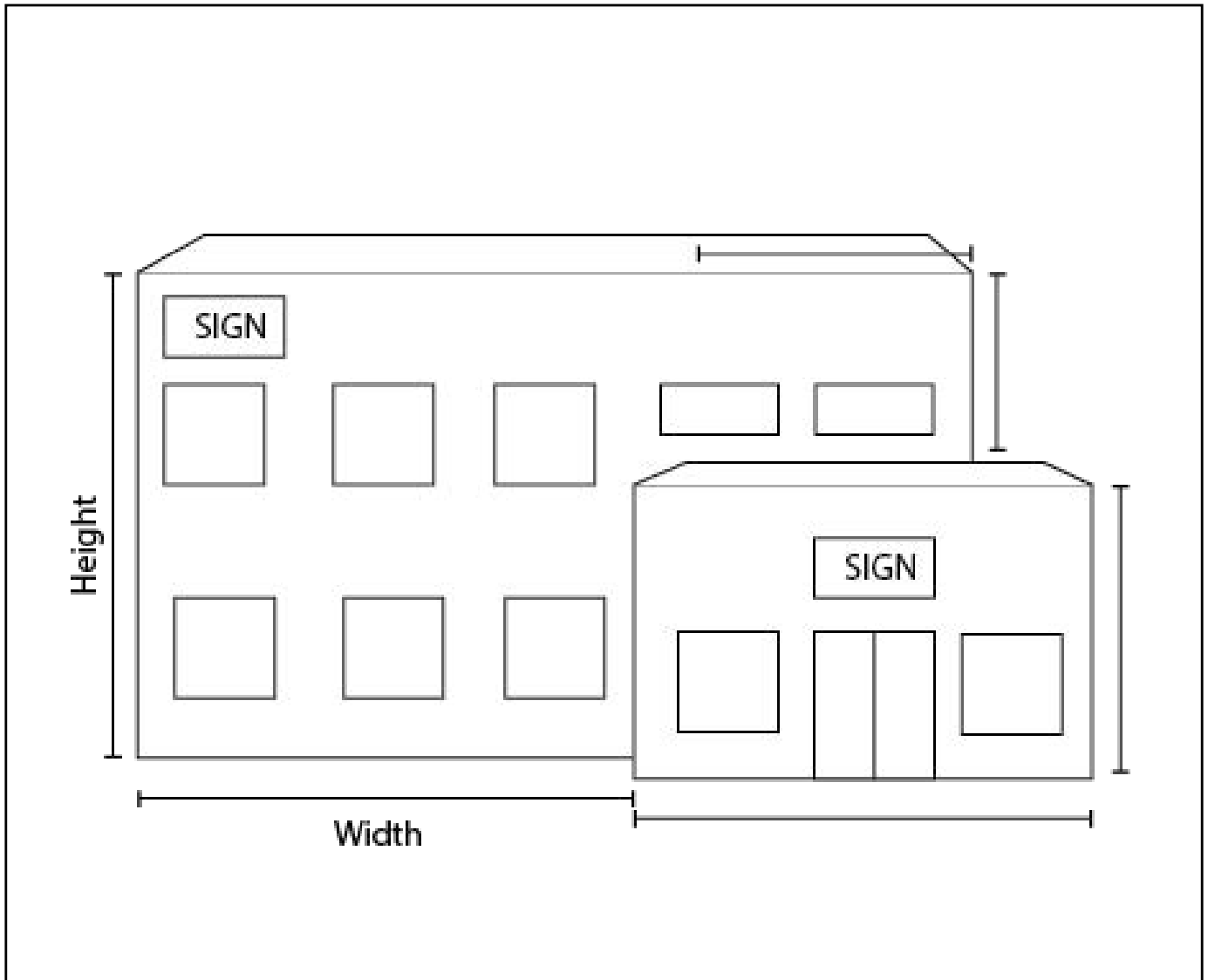
Total square footage of wall (elevation): _____
 (For varying wall heights, please provide your calculations. Do not exclude area of doors and windows. Wall area is calculated as a two-dimensional projection, so if the building has multiple walls facing the same direction, include all walls facing that direction. For example, include the entire south-facing elevation if the sign is on the south elevation.)

Building-Mounted Sign

Example drawing



Example building elevation drawing





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Freestanding Sign Supplemental Information

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Applicant: Fill in the information below and submit this form with your building permit application for the sign (Commercial Building Permit Application) along with the drawings. Attach a drawing of the sign showing all dimensions of the sign, including area, and the height to the top of the sign from the surrounding grade. Include a plot plan of the lot showing the location of the sign and distances from property lines.

Refer to Division 2, Article IV, Chapter 23 of the Weld County Code for Weld County's Sign Code. In particular, see Section 23-4-90 for size and height limits, 23-4-120 for required distances from rights-of-way (setbacks) and other property lines (offsets), 23-4-80 for Electronic Message Displays (reader boards, etc.), and 23-4-70 for lighting and other regulations.

Subject property address or parcel number (where the sign is to be located): _____

Is the sign proposed to be lighted? _____ Yes _____ No If yes: _____ internally or _____ externally?
 (Externally means shining a light on an otherwise unlighted sign. Please note: Signs in Agricultural, Residential, and Estate zone districts are not permitted to be internally lighted.)

Does the lot have a principal building? _____ Yes _____ No
 (Lots without a principal building are limited to one sign of up to 64 square feet and 8 feet in height per road that the lot has frontage on, regardless of zoning. The lot may also have up to 5 signs of up to 6 square feet each. Signage must be brought into compliance with the limits for the zone district once a principal building is constructed.)

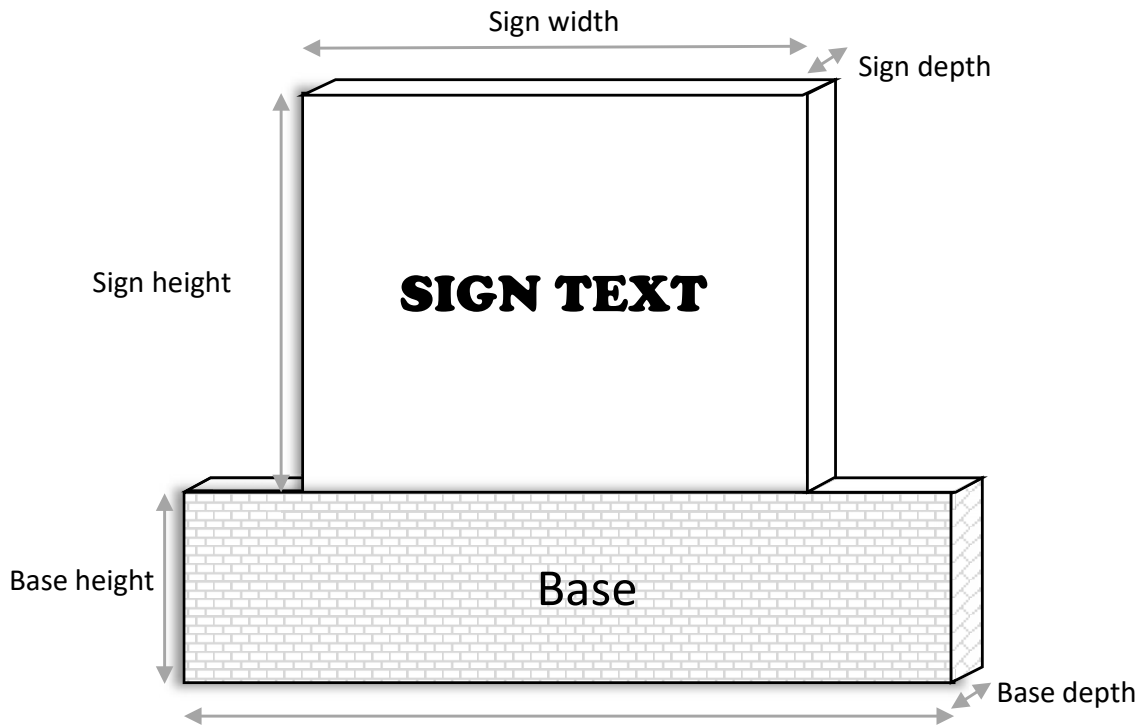
Proposed height of sign (feet): _____
 (23-4-110.C.: Sign height shall be computed as the vertical distance from mean natural grade at foundation to the highest point of the sign structure. Natural grade shall be construed to be the lower of (1) existing grade prior to construction, or (2) the newly established grade after construction, exclusive of any filling, berming, mounding or excavating solely for the purpose of locating the sign.)

Proposed distances from property lines (feet): North: _____ East: _____ South: _____ West: _____
 Signs may not be located in sight-distance triangles or within 5 feet of fire hydrants. Signs over 10 feet in height must be set back from rights-of-way a distance equal to the height of the sign. The County may require any sign located within future right-of-way to be relocated outside of future right-of-way at the owner's expense. Contact Planning staff with questions regarding future right-of-way. Staff cannot locate rights-of-way/property lines on your property, however.

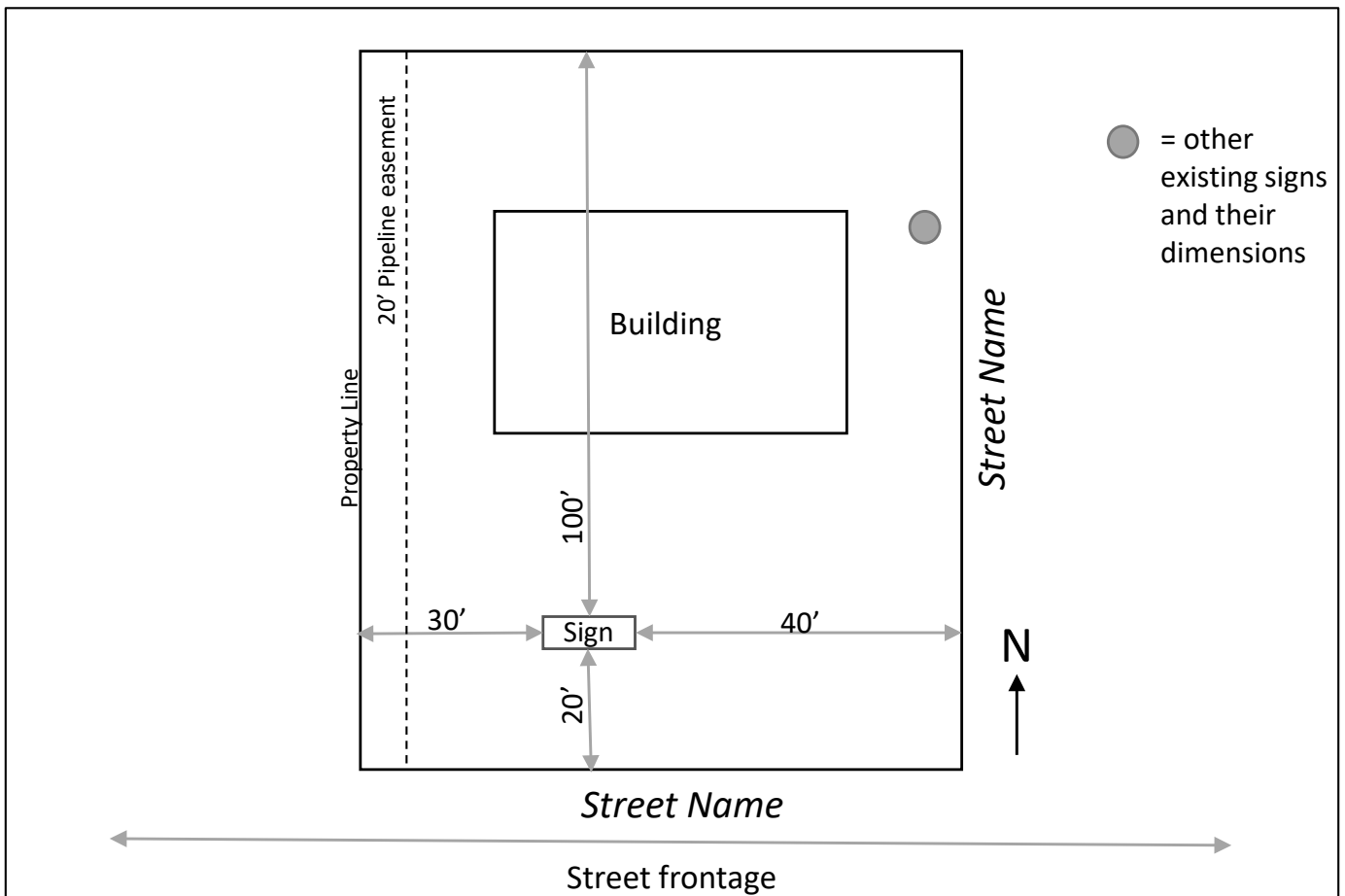
Size of proposed sign (square feet): _____
 (23-4-110.A.: The area of a sign face shall be computed by means of the smallest square, circle, rectangle, triangle or combination thereof, that will encompass the extreme limits of the writing, representation, emblem or other display, together with any material or color forming an integral part of the background of the display or used to differentiate the sign from the backdrop or structure against which it is placed, but not including any supporting framework, bracing or decorative fence or wall clearly incidental to the display itself. The entire area of the structure of a freestanding sign shall be included in the calculation of sign area, except that portion of a sign below a height of seven feet if said portion contains no signage other than the street address of the property. 23-4-110.B.: When two sign faces (sides with signage) on a freestanding sign are placed back to back or with an angle of less than 45 degrees between them, the sign area shall be computed by the measurement of only the larger of the faces. For signs with more than two faces, or two-sided signs with faces that are angled greater than 45 degrees apart, each face will be included when measuring the area of the sign.)

Freestanding Sign

Example drawing



Example site plan





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Sign Offset Waiver

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Section 23-4-120.B of the Weld County Code requires signs over 6 square feet in area to be offset from property lines other than right-of-way lines a distance equal to the height of the sign. The Department of Planning Services may allow an exception where the owner of the adjacent lot signs this waiver form. Such an exception does not affect building code requirements, height or size limitations, or setback requirements from rights-of-way. If the sign does not meet the required offset (equal to the height of the sign) from more than one lot, the applicant will need to obtain the signature of the owner of each of the affected adjacent lots on separate waivers.

Applicant: Fill in the information below and obtain the signature of the owner of the adjacent property below. Submit this form with your building permit application for the sign (Commercial Building Permit Application).

Subject property address or parcel number (where the sign is to be located): _____

Proposed height of sign: _____ (feet)

Proposed distance of sign from adjacent property: _____ (feet)

Adjacent property owner waiver:

I, _____, own or am authorized to sign on behalf of the owner of
 (print name)

the property located at _____
 (print address or parcel number of property nearest the proposed sign)

and have no objections to a reduced offset for the sign proposed for the Applicant's property. I understand that the sign may be permanently located at the adjoining property line.

Signed: _____ Date: _____

Phone (optional): _____ Email (optional): _____